



## Saddleback Road, Wigan

Offers Over £169,995

Ben Rose Estate Agents are pleased to present to the market this charming three-bedroom end terraced property, situated in the highly sought-after area of Wigan. This ideal first home is conveniently located in close proximity to excellent local schools, supermarkets, amenities, and major transport links, including the M6 and M58 motorways. Early viewing is highly recommended to avoid any potential disappointment.

As you step into the spacious entrance hall, you are greeted with access to the stairs and the majority of the ground floor rooms. To the front, the lounge boasts ample room for a large sofa set, a bay window and a cosy log burning fire. Moving towards the rear, you'll find the generous kitchen/diner featuring an abundance of wall and base units, an integrated hob and oven, and ample space for a four-person family dining table. Access to the garden is provided via a set of patio doors, creating a seamless indoor-outdoor flow. Additional conveniences on this floor include a large under-stair storage area, a washroom with a sizable storage cupboard, an outdoor WC, and a utility room with extra worktops and space for a washer/dryer.

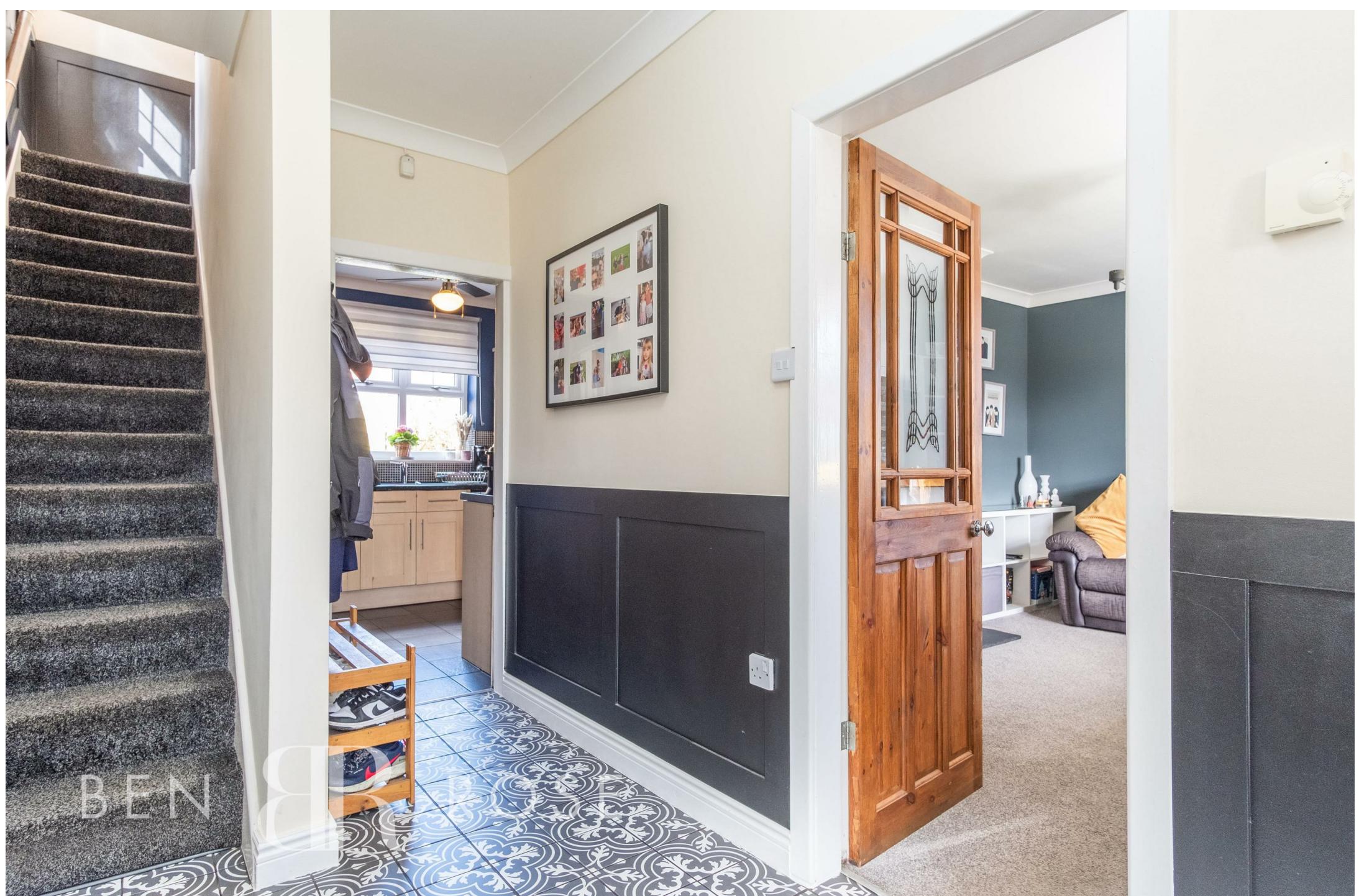
Ascending to the first floor, you'll discover three spacious double bedrooms, with the master and bedroom two offering built-in storage solutions. A modern family bathroom with a shower completes this floor, ensuring comfort and convenience for the household. The spacious landing area enhances the feeling of openness and accessibility throughout the home.

This property boasts a new roof installed in 2017, along with new windows and doors both at the front and back added in 2020, ensuring modern comfort and energy efficiency. The large fully boarded loft presents potential for a loft conversion, adding valuable living space to the home. Outside, the good-sized landscaped garden features paved and lawned areas, bordered by tall fencing for privacy and creating a tranquil outdoor retreat. Parking is convenient with space for one car on the driveway and additional parking available in front of the house, making this property not only charming but also practical for modern living.





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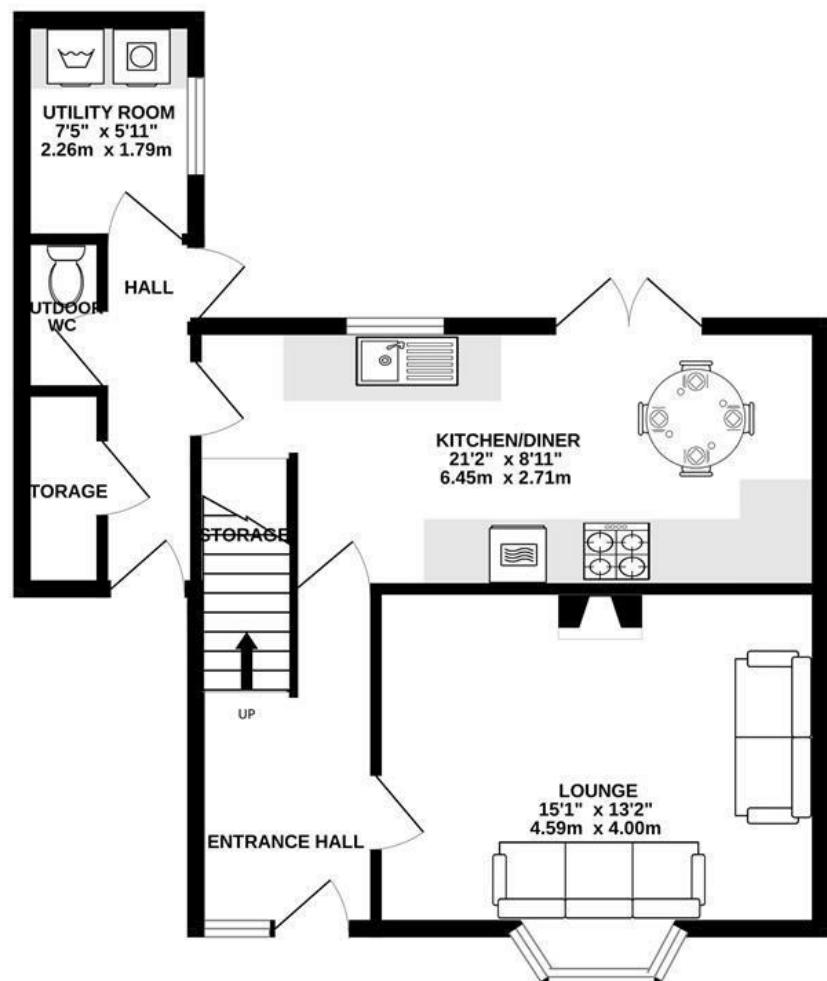




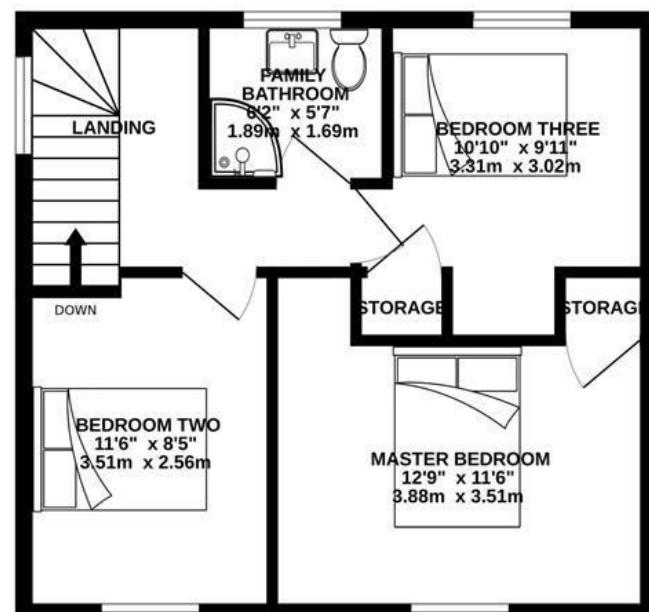


# BEN ROSE

GROUND FLOOR  
548 sq.ft. (50.9 sq.m.) approx.



1ST FLOOR  
424 sq.ft. (39.4 sq.m.) approx.



TOTAL FLOOR AREA : 972 sq.ft. (90.3 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
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We do our best to ensure that our sales particulars are accurate and are not misleading but this is for general guidance and complete accuracy cannot be guaranteed. We are not qualified to verify tenure of a property and prospective purchasers should seek clarification from their solicitor. all measurements and land sizes are quoted approximately. The mention of any appliances, fixtures and fittings does not imply they are in working order.

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs (92 plus)	A	
(81-91)	B	
(69-80)	C	
(55-68)	D	
(39-54)	E	
(21-38)	F	
(1-20)	G	
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions (92 plus)	A	
(81-91)	B	
(69-80)	C	
(55-68)	D	
(39-54)	E	
(21-38)	F	
(1-20)	G	
Not environmentally friendly - higher CO <sub>2</sub> emissions		
England & Wales	EU Directive 2002/91/EC	

